

Twenty

Gresham
Street

20

Offices from 4,000 to 50,000 sq ft

A striking first impression

20 Gresham Street is a prominent office building designed by KPF Architects in the heart of the City of London. The building was completed in 2008 and provides exceptional quality space, including an imposing double height reception area which extends to over 5,000 sq ft.





AVAILABILITY

5th FLOOR

From 5,000 sq ft to 31,579 sq ft
(464.5 sq m to 2,933.8 sq m)

4th FLOOR

From 4,000 sq ft to 19,630 sq ft
(371.6 sq m to 1,823.7 sq m)

Large, efficient and
virtually column free

Entire 5th Floor

The available Grade A accommodation comprises over 30,000 sq ft of open plan space on a single floor with a minimum span of 12.5 metres and a maximum span of 18 metres, enabling any prospective occupier to make the most efficient use of the space.

Part 4th Floor

The part-floor comprises 19,630 sq ft of Grade A offices fitted out to a high standard to suit an open plan corporate configuration.

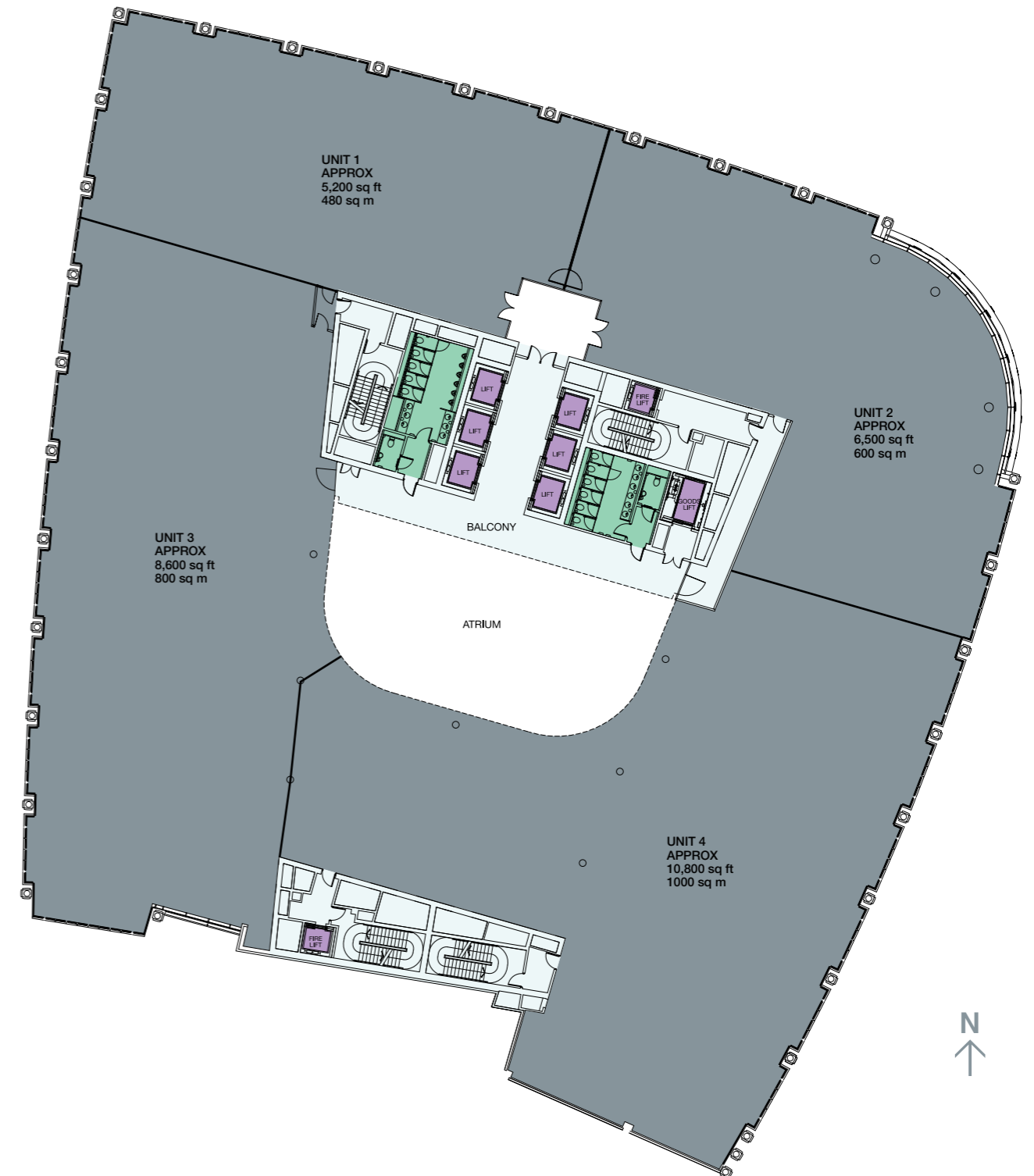


5th floor – open plan

Net internal area
From 31,579 sq ft / 2,934 sq m



5th floor – indicative split



Unit	sq ft	sq m
1	5,200	480
2	6,500	600
3	8,600	800
4	10,800	1000

4th floor – existing layout*

Net internal area
19,630 sq ft / 1,824 sq m

4th floor – indicative split



Open plan corporate layout

"L" shaped workstations	19
Benching workstations	241
Executive desk	4
Headcount	264
Density of occupation	1 per 7 sq m

* Furniture and fittings may be available by separate negotiation

Unit	sq ft	sq m
1	3,800	355
2	7,000	650
3	8,800	820

Specification



BREEAM RATING

Excellent

OCCUPANCY LEVEL

10 sq m / person of net internal area with capacity to increase density

RAISED FLOOR

150 mm

FLOOR TO CEILING HEIGHT

2.750 mm

OFFICE FLOORS

Fully accessible raised modular floor system

Metal tile access ceiling (750x750 grid)

PLANNING GRID

1.5 m

LIGHTING

Recessed luminaires designed around the requirements of LG7 based on lighting level of 400 lux

AIR CONDITIONING

Provided by 2 and 4 pipe ceiling mounted fan coil units

COOLING

Connections and space for an additional chiller, cooling tower and pumps to offer a N+1 level of redundancy

POWER

2 Incoming EDF 11KV supplies each rated at 100% of the building load.

2 Dual fed LV switchboards, each fed by two 11,000/400-volt transformers.

Additional power available upon request

LIFTS

6 x Passenger lifts x 21 persons (1,600 kg). Speed 1.6 m/s.

2 x Fire Fighter lifts x 8 person (630 kg). Speed 1.6 m/s

1 x Goods lift x 33 person (2,500 kg) serving all areas

1 x Goods lift x 33 person (2,500 kg) goods shuttle lift serving basement and ground floor

DESIGN PARAMETERS

External design conditions

Summer: 29°C db / 21°C wb

Winter: -4°C saturated

Lighting: 12 w/m²

Small power: 25 w/m²

Additional capacity: 10 w/m²

Load density for cooling

Lighting: 12 w/m²

Small power: office: 25 w/m²

Additional cooling capacity available in main plant and risers: Available upon request

Electrical

Lighting: 12 w/m²

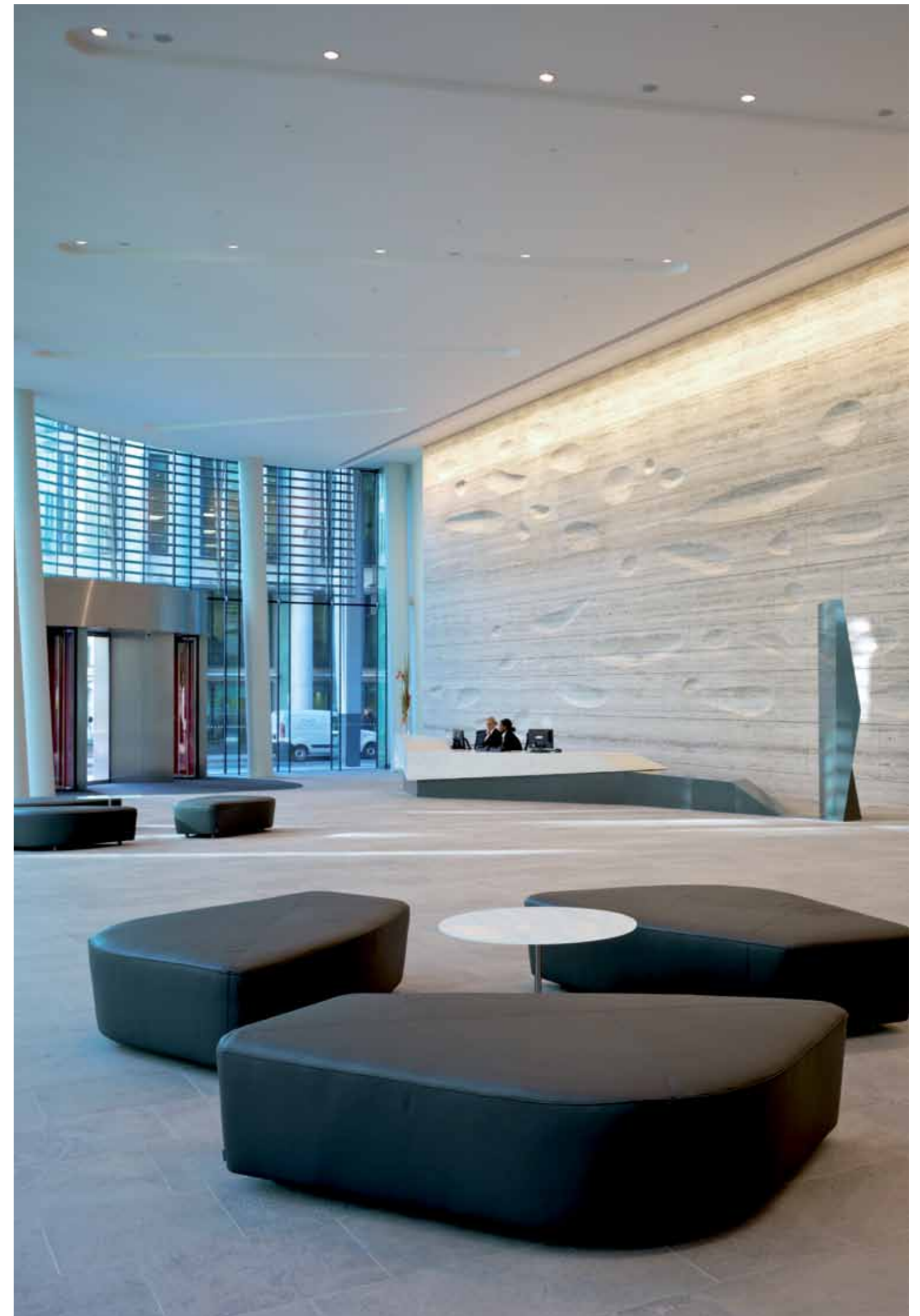
Small power: office: 25 w/m²

Additional capacity air riser: 10 w/m²

Supplementary Power: Available upon request

Power

The building's power is supported by 3 x 2mva generators providing N+1 resilience



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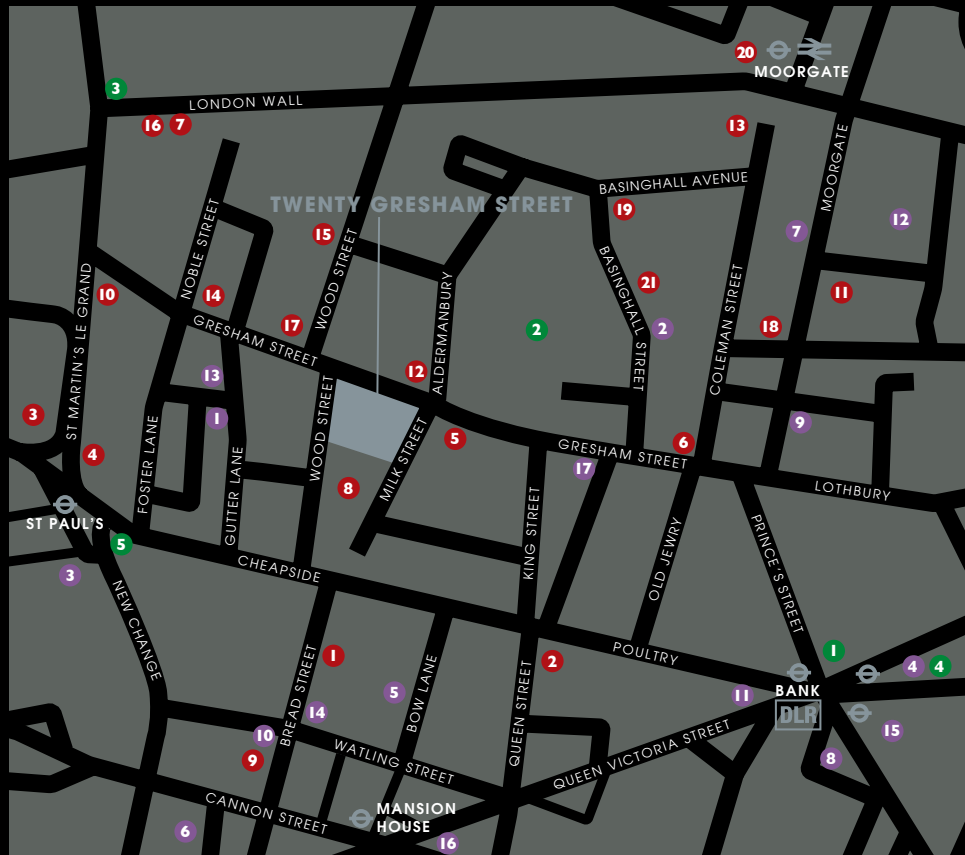


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Local occupiers

- 1 Aberdeen Asset Management
- 2 Banca Intesa
- 3 BT
- 4 Chartis
- 5 Commerzbank
- 6 Davis Polk & Wardwell
- 7 DLA Piper
- 8 Eversheds
- 9 Fidelity Investments
- 10 Investec
- 11 JP Morgan Cazenove
- 12 JP Morgan Chase
- 13 Legal & General
- 14 Lloyds TSB
- 15 National Australia Group
- 16 Osborne Clarke
- 17 Schroder
- 18 Smith & Williamson
- 19 Standard Chartered
- 20 Unicredit
- 21 West LB

Landmarks, leisure & retail

- 1 Bank of England
- 2 Guildhall
- 3 Museum of London
- 4 The Royal Exchange
- 5 One New Change

Restaurants, cafés & bars

- 1 Balls Brothers
- 2 Corney and Barrow Mason's Avenue
- 3 Dion
- 4 Grand Café Bar at the Royal Exchange
- 5 Jamies
- 6 Ochre
- 7 The Cellar Wine Bar
- 8 Lombard Street Restaurant
- 9 Bluu Bar Brasserie
- 10 Chez Gerard
- 11 Coq d'Argent
- 12 Esca
- 13 Manicomio
- 14 Ping Pong
- 15 Restaurant Sauterelle
- 16 Sweetings
- 17 Tokyo City